

(BLDG NO:- 1) BUILT UP AREA STATEMENT			
GROUND FLOOR	=	26.765	SQ.M.
FIRST FLOOR	=	442.522	SQ.M.
SECOND FLOOR	=	442.522	SQ.M.
THIRD FLOOR	=	363.166	SQ.M.
TOTAL BUA	=	1274.975	SQ.M.

(BLDG NO.1) BALCONY AREA STATEMENT			
FLOOR	PERMISSIBLE BAL.	ENCLOSED BAL.	PROJECTED BAL.
GROUND	0.000	0.000	0.000
FIRST	66.378	65.760	0.000
SECOND	66.378	65.760	0.000
THIRD	54.474	53.375	0.000
TOTAL	187.230	184.895	0.000

BLDG NO:- 1) TERRACE AREA STATEMENT			
FLOORS	PERMISSIBLE TERR. AREA	PROPOSED TERR. AREA	
GROUND	0.000	0.000	
FIRST	0.000	0.000	
SECOND	0.000	0.000	
THIRD	72.633	28.101	
TOTAL	72.633	28.101	

(BLDG NO:- 2) BUILT UP AREA STATEMENT			
GROUND FLOOR	=	230.069	SQ.M.
FIRST FLOOR	=	304.666	SQ.M.
SECOND FLOOR	=	285.526	SQ.M.
THIRD FLOOR	=	205.684	SQ.M.
TOTAL BUA	=	1025.945	SQ.M.

(BLDG NO:- 2) BALCONY AREA STATEMENT			
FLOOR	PERMISSIBLE BAL.	ENCLOSED BAL.	PROJECTED BAL.
GROUND	0.000	0.000	0.000
FIRST	45.700	22.560	19.965
SECOND	42.829	22.560	19.965
THIRD	30.853	19.380	9.983
TOTAL	119.382	64.500	49.913

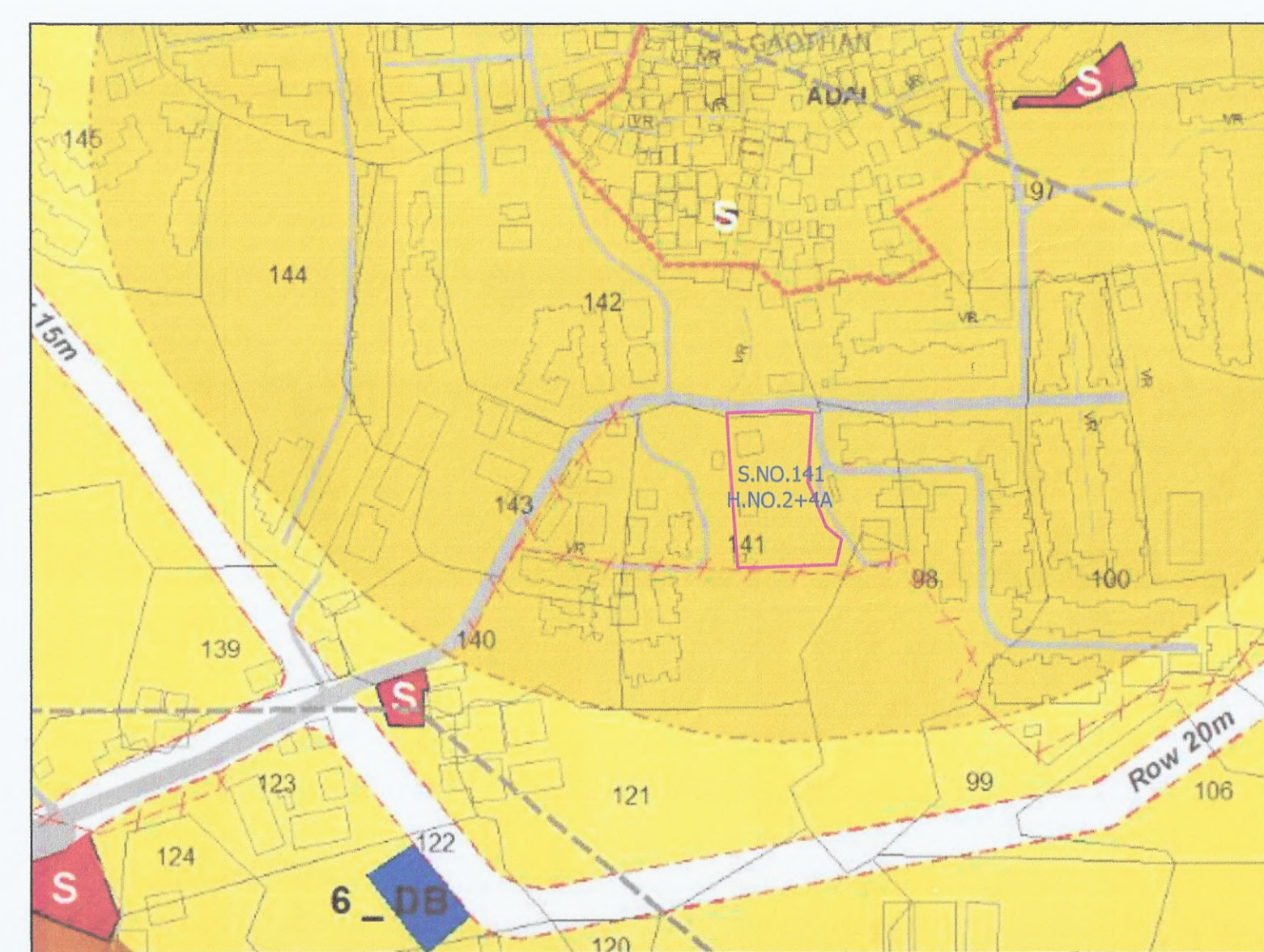
(BLDG NO:- 2) TERRACE AREA STATEMENT			
FLOORS	PERMISSIBLE TERR. AREA	PROPOSED TERR. AREA	EXCESS TERR. AREA
GROUND	0.000	0.000	0.000
FIRST	60.933	78.800	17.867
SECOND	57.105	27.200	0.000
THIRD	41.137	40.970	0.000
TOTAL	159.175	146.970	17.867

(BLDG NO:- 1) CARPET / BUILT UP AREA STATEMENT									
FLOOR	WING	FLAT/NO.	NO. OF FLATS	CARPET AREA (SQ.M.)	BALCONY AREA ENCL. BAL.	BAL.	TERRACE AREA	BUILT UP AREA (SQ.M.)	
FIRST FLOOR	A	101	1	21.952	4.640	.....	.....	24.566
		102	1	26.307	6.026	.....	.....	31.589
		103	1	29.455	6.401	.....	.....	32.646
		104	1	29.455	6.401	.....	.....	32.646
		105	1	28.370	6.026	.....	.....	31.731
	B	106	1	29.221	7.424	.....	.....	32.844
		101	1	39.858	10.362	.....	.....	44.045
		102	1	31.090	4.613	.....	.....	34.949
		103	1	31.094	4.613	.....	.....	34.949
		104	1	29.351	4.613	.....	.....	33.152
SECOND FLOOR	A	201	1	21.952	4.640	.....	.....	24.566
		202	1	26.307	6.026	.....	.....	31.589
		203	1	29.455	6.401	.....	.....	32.646
		204	1	29.455	6.401	.....	.....	32.646
		205	1	28.370	6.026	.....	.....	31.731
	B	206	1	29.221	7.424	.....	.....	32.844
		201	1	39.858	10.362	.....	.....	44.045
		202	1	31.090	4.613	.....	.....	34.949
		203	1	31.094	4.613	.....	.....	34.949
		204	1	29.351	4.613	.....	.....	33.152
THIRD FLOOR	A	301	1	21.952	4.640	.....	.....	24.566
		302	1	26.307	6.026	.....	.....	31.589
		303	1	29.455	6.401	.....	.....	32.646
		304	1	29.455	6.401	.....	.....	32.646
		305	1	28.370	6.026	.....	.....	31.731
	B	306	1	29.221	7.424	.....	.....	32.844
		301	1	39.858	10.362	.....	.....	44.045
		302	1	31.090	4.613	.....	.....	34.949
		303	1	31.094	4.613	.....	.....	34.949
		304	1	29.351	4.613	.....	.....	33.152
TOTAL NO. OF FLAT			31						

(BLDG NO:- 2) FLAT / SHOP CARPET / BUILT UP AREA STATEMENT									
FLOOR	SHOP/FLAT NO.	NO. OF SHOP/FLAT	CARPET AREA (SQ.M.)	BALCONY AREA (SQ.M.)	ENCLOS. BAL.	BAL.	TERRACE AREA	BUILT UP AREA (SQ.M.)	
GROUND FLOOR	SHOP - 1	1	10.000	----	----	----	----	11.877	
	SHOP - 2	1	7.400	----	----	----	----	8.385	
	SHOP - 3	1	6.905	----	----	----	----	7.917	
	SHOP - 4	1	7.800	----	----	----	----	9.245	
	SHOP - 5	1	7.800	----	----	----	----	8.869	
	SHOP - 6	1	10.000	----	----	----	----	11.258	
	SHOP - 7	1	10.000	----	----	----	----	11.485	
	SHOP - 8	1	7.600	----	----	----	----	8.815	
	SHOP - 9	1	7.600	----	----	----	----	8.815	
	SHOP - 10	1	10.000	----	----	----	----	11.485	
	SHOP - 11	1	10.000	----	----	----	----	11.485	
	SHOP - 12	1	7.600	----	----	----	----	8.815	
	SHOP - 13	1	7.600	----	----	----	----	8.815	
	SHOP - 14	1	10.000	----	----	----	----	11.485	
	SHOP - 15	1	10.000	----	----	----	----	11.258	
	SHOP - 16	1	7.800	----	----	----	----	8.869	
	SHOP - 17	1	7.800	----	----	----	----	9.245	
	SHOP - 18	1	6.905	----	----	----	----	7.917	
	SHOP - 19	1	7.400	----	----	----	----	8.385	
	SHOP - 20	1	10.000	----	----	----	----	11.877	
TOTAL NO. OF SHOP		20							
FIRST FLOOR	101	1	30.595	3.180	4.867	----	----	34.713	
	102	1	41.845	----	5.115	6.510	----	47.499	
	103	1	47.733	8.100	----	32.889	52.342		
	104	1	47.746	8.100	----	32.889	52.342		
	105	1	41.845	----	5.115	6.510	47.499		
SECOND FLOOR	201	1	30.595	3.180	4.867	4.030	34.713		
	202	1	33.145	----	5.115	9.570	37.929		
	203	1	47.733	8.100	----	52.342			
	204	1	47.746	8.100	----	52.342			
	205	1	33.145	----	5.115	9.570	37.929		
THIRD FLOOR	301	1	30.595	3.180	4.867	4.030	34.713		
	302	1	33.145	----	5.115	9.570	37.929		
	303	1	44.133	8.100	----	22.585	48.712		
	304	1	44.146	8.100	----	22.585	48.712		
	305	1	30.595	3.180	4.867	----	34.847		

(BLDG NO:- 1) PARKING REQUIREMENT							
TENEMENTS SIZE	NO. OF TENEMENTS	REQUIRED PARKING RATE	REQUIRED NO. OF PARKING SPACES		PROPOSED PARKING SPACES		
			NO. OF CAR	NO. OF TWO WHEELER	NO. OF CAR	NO. OF TWO WHEELER	
UPTO 35 SQ.M.	28	4 TENEMENTS HAVING CARPET AREA UP TO 35 SQ.M. EACH	7	12.5 X 7 = 87.5	7	7	
ABOVE 35 TO 45 SQ.M.	3	2 TENEMENTS WITH CARPET AREA EXCEEDING 35 SQ.M. EACH AND HAVING AREA UP TO 45 SQ.M. EACH	2	12.5 X 3 = 37.5	2	2	
PER MODIFIED DRAFT DEVELOPMENT CONTROL & PROMOTION REGULATIONS FOR INTERIM DEVELOPMENT PLAN OF NAVI MUMBAI AIRPORT INFLUENCE NOTIFIED AREA (NAINA) (23 VILLAGES IN PANVEL TALUKA)... REGULATION NO. 23							
TOTAL			9	12.5 X 12.5	9	9	
ADD 10% VISITORS PARKING FOR RESIDENTIAL AREA			1	12.5 X 10% = 1.25 SQ.M	1	1	
TOTAL			10	8	10	10	

(BLDG NO:- 2) PARKING REQUIREMENT							
TENEMENTS SIZE	NO. OF TENEMENTS	REQUIRED PARKING RATE	REQUIRED NO. OF PARKING SPACES		PROPOSED PARKING SPACES		
			NO. OF CAR	NO. OF TWO WHEELER	NO. OF CAR	NO. OF TWO WHEELER	
UPTO 35 SQ.M.	8	4 TENEMENTS HAVING CARPET AREA UP TO 35 SQ.M. EACH	2	12.5 X 3 = 37.5	3	2	
ABOVE 35 TO 45 SQ.M.	4	2 TENEMENTS WITH CARPET AREA EXCEEDING 35 SQ.M. EACH AND HAVING AREA UP TO 45 SQ.M. EACH	2	12.5 X 2 = 25	2	1	
ABOVE 45 TO 60 SQ.M.	4	1 TENEMENTS WITH CARPET AREA EXCEEDING 45 SQ.M. BUT NOT EXCEEDING 60 SQ.M. EACH	4	12.5 X 4 = 50	4	3	
CONVT./SHOP	20/208.485 SQ.M.	1 CAR EVERY 40 SQ.M. OF FLOOR BUILT UP AREA UPTO 800 SQ.M.	6	75.00 X 10% = 7.50 SQ.M	6	4	
PER MODIFIED DRAFT DEVELOPMENT CONTROL & PROMOTION REGULATIONS FOR INTERIM DEVELOPMENT PLAN OF NAVI MUMBAI AIRPORT INFLUENCE NOTIFIED AREA (NAINA) (23 VILLAGES IN PANVEL TALUKA)... REGULATION NO. 23							
TOTAL			14	10	15	10	
ADD 10% VISITORS PARKING FOR RESIDENTIAL AREA			2	12.5 X 10% = 1.25 SQ.M	2	1	
TOTAL			16	11	17	11	



NOTE * ALL DIMENSIONS ARE IN METERS.
* INTERNAL WALL THICKNESS 0.10 MM.
* EXTERNAL WALL THICKNESS 0.15 MM.

CONTENT OF THE SHEET:

- 1) LAYOUT PLAN
- 2) PLOT AREA CALCULATION DIAGRAM
- 3) LOCATION PLAN
- 4) BLOCK PLAN
- 5) BUILTUP AREA STATEMENT
- 6) TERRACE AREA STATEMENT
- 7) BALCONY AREA STATEMENT
- 8) FLAT/SHOP CARPET AREA STATEMENT
- 9) PARKING REQUIREMENT
- 10) LEGEND
- 11) PROFORMA - I.

- LEGEND
1. PLOT BOUNDARY
 2. EXISTING ROAD
 3. CAR PARKING
 4. TWO WHEELER PARKING
 5. TREE

SHEET NO -

1

6

STAMP OF APPROVAL

PART OC

This Part Occupancy Certificate is issued for full OC to the building no. 2 only, and as built drawing is approved subject to the conditions mentioned in Part Occupancy Certificate bearing no. CIDCO/NAINA/Panvel/Adai/BP-00543/OC/Part/2022/0211 Dated 03/June/2022.

Sr. No.	Area Statement	Area Sq.M.
1.	i Area of plot (As per 7/12 extract)	2550.000
	ii Area as per NA Measurement Plan	2550.000
	iii Area of plot as per NA Measurement Plan (Triangulation Method)	2664.196
	iv Area of Plot outside 200m Gaotthan boundary	NA
	v Area of plot as per Physical survey	2629.892
	vi Area of plot considered (Least of i, ii, iii & iv)	2550.000
2.	Deduction for	
	2A Area under Existing Road	230.835
	2B Proposed Road widening Area	NIL
	2C Area under reservation, if any	NIL
	2D 2B + 2C	230.835
3.	Gross area of the Plot (1 - 2)	2319.165
4.	Deduction for Amenity space, if any	NA
	4A Amenity space Required, if any	NA
	4B Amenity space proposed, if any	NA
	4C R/G open space required (10%), if any	NA
	4D R/G open space provided, if any	NA
5.	Net area of Plot (3 - 4)	2319.165
6.	Minimum Permissible FSI	1.000
7.	Max. Permissible Built up Area (5 x 6)	2319.165
8.	Existing Built Up Area Building no.1 (CC Approved Area)	1132.592
9.	Proposed Built Up Area Building no.1	142.383
10.	Proposed Built Up Area Building no.2	1025.945
11.	EXCESS TERRACE Area Building no.2	17.867
12.	Total Built Up Area Consumed (8 + 9 + 10+11)	2318.767
13.	Balance Built Up Area (12 - 11)	0.376
14.	FSI Consumed (12 / 7)	1.000
15.	FSI Balance (6 - 13)	0.000
16.	Number of Units	
	17A Residential Existing Unit (CC Approved Building No.1)	27
	17B Residential Proposed Unit (Building No. 1)	4
	17C Residential Proposed Unit (Building No.2)	16
	17D Commercial (No. of comm. Shops Proposed in Building No.2)	20
	17E Total Residential Units BLDG NO.1+2 = (31+16)	47
17.	Trees to be planted	
	18A Trees to be planted against Plot area (1) (x x 50)	32
	18B Trees to be planted against Trees felled (no x 5)	10
</		

PART OC

This Part Occupancy Certificate is issued for full OC to the building no. 2 only, and as built drawing is approved subject to the conditions mentioned in Part Occupancy Certificate bearing no. CIDCO/NAINA/Panvel/Adai/BP-00543/OC/Part/2022/0211 Dated 03/June/2022.

FORM OF CERTIFICATE .

I Jeetendra Parmar have been employed by the applicant as Licensed engineer. I have examined the boundaries and the area of the plot and I do hereby certify that, I have personally verified and checked all the statements made by the applicant who is the owner /Developer in possession of the plot in the above form and found them to be correct.
Date :- 01-01-2015

JEETENDRA PARMAR
CARPC/R/2021/APL/00416
(SIGN. OF LICENSED ENGINEER)

CERTIFICATE OF AREA

CERTIFIED THAT THE PLOT UNDER REFERENCE WAS SURVEYED BY ME ON 01-01-2015 AND THE DIMENSIONS OF SIDE ETC. OF PLOT STATED ON PLAN AREA AS MEASURED ON SITE AND THE AREA SO WORKED OUT TALLIES WITH THE AREA STATED IN DOCUMENT OF OWNERSHIP / T.P SCHEME RECORDS / LAND RECORDS DEPARTMENT / CITY SURVEY RECORD.

FOR M/S. Swastik Builders & Developer

- 1) MR. SUNIL PARSHURAM JADHAV. *For SWASTIK BUILDERS AND DEVELOPERS*
2) MR. ASHOK RAGHO PAWNEKAR. *Partner*
FOR M/S. KAIZEN INDIA REALTY *For KAIZEN INDIA REALTY*

- 1) MR. BABASAHEB KISAN SANAP *PARTNER*
2) MR. YASHWANT VITTHALRAO TIDKE *JEETENDRA PARMAR*
(SIGNATURE OF POA HOLDERS) (SIGN. OF LICENSED ENGINEER)

POWER OF ATTORNEY HOLDERS :

FOR M/S. Swastik Builders & Developer

- 1) MR. SUNIL PARSHURAM JADHAV. *For SWASTIK BUILDERS AND DEVELOPERS*
2) MR. ASHOK RAGHO PAWNEKAR. *Partner*
FOR M/S. KAIZEN INDIA REALTY *For KAIZEN INDIA REALTY*
1) MR. BABASAHEB KISAN SANAP *PARTNER*
2) MR. YASHWANT VITTHALRAO TIDKE *JEETENDRA PARMAR*

NAME & SIGNATURE OF THE OWNERS :

MR. GANU MAHADU PATIL *गणु महादु पारीक*
MR. ANANTA MAHADU PATIL *अनंत महादु पारीक*

DESCRIPTION OF PROPOSAL & PROPERTY

PROPOSED RESIDENTIAL BUILDING ON LAND BEARING
S. NO. 141/2+4A, AT VILLAGE - ADAI, TAL.- PANVEL, DIST.-RAIGAD.

ARCHITECT / ENGINEER NAME & SIGN



JEETENDRA PARMAR
CARPC/R/2021/APL/00416

JEETENDRA PARMAR
AND ASSOCIATES

ARCHITECTS
ENGINEERS

A-101, "KANDPILE RESIDENCY",
NEAR M.S.E.B. & FOREST OFFICE,
TAKKA, PANVEL- 410206
TL. NO. (OFF) 022-27482594.

JOB. NO.
JPA/R/01/2019

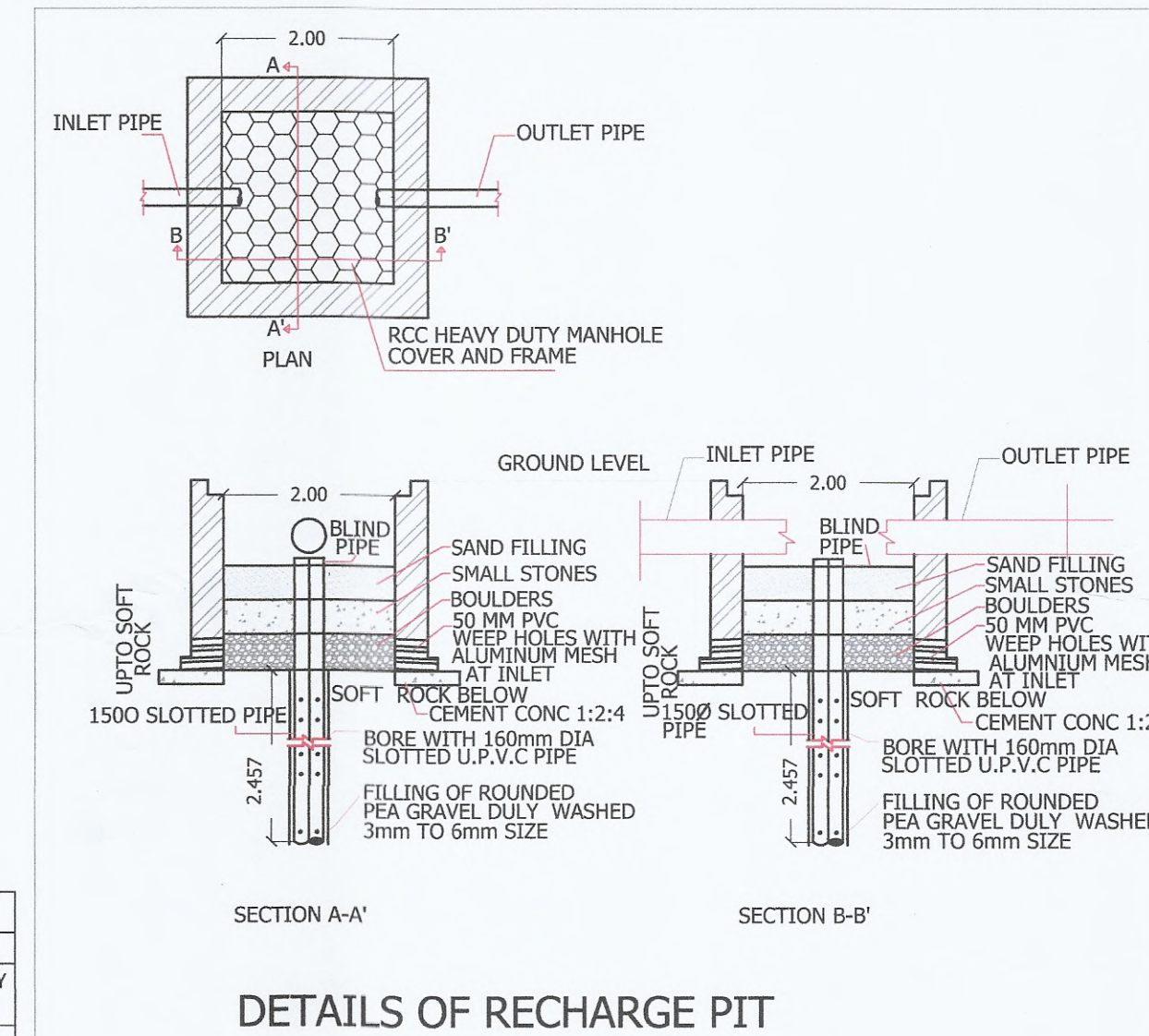
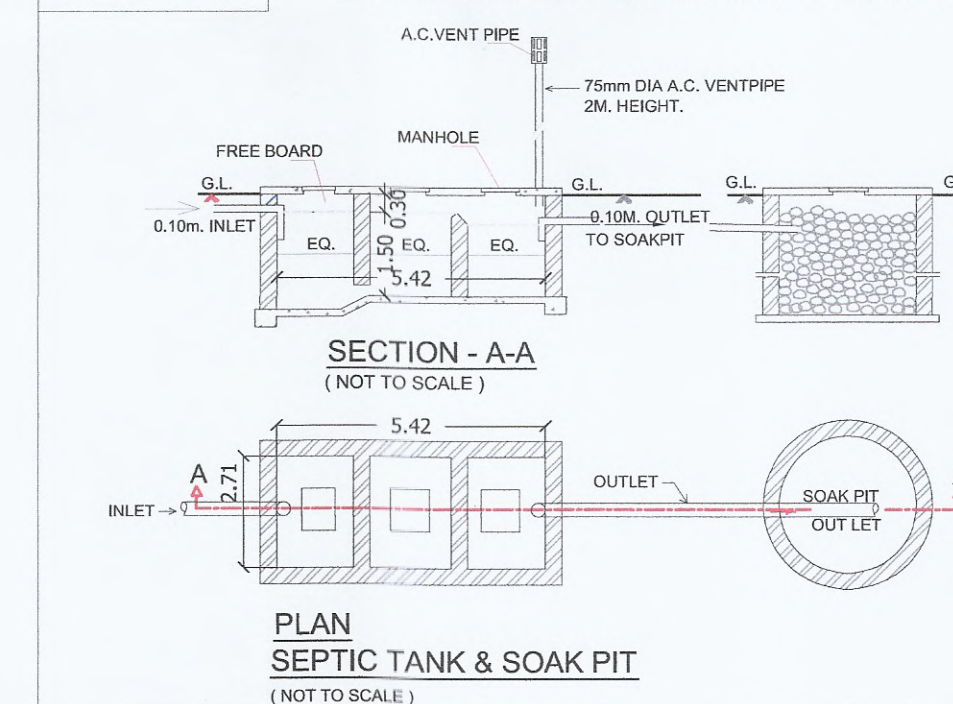
FILE NAME
ADAI/SUB

DRG. NO.
2/6

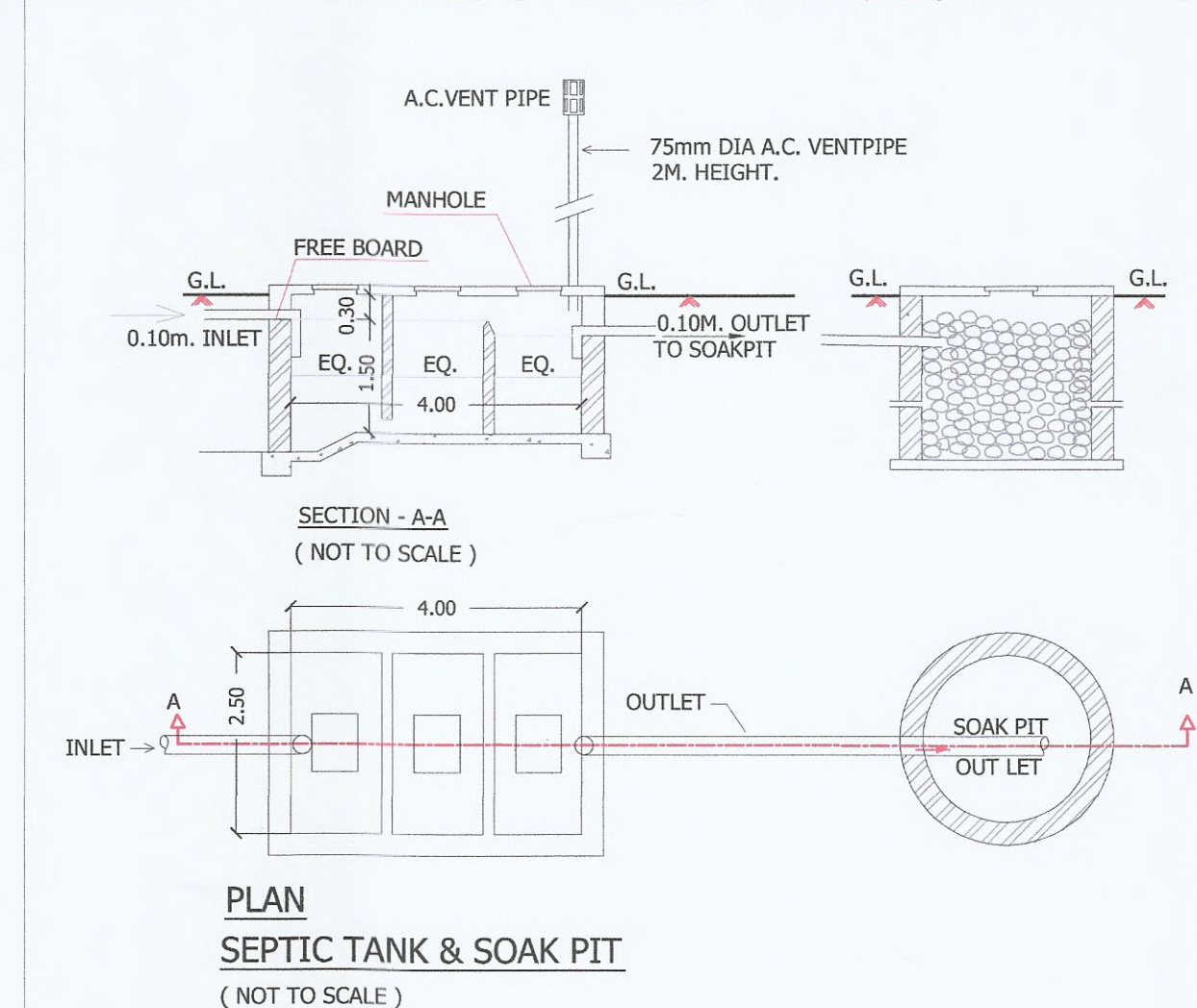
SCALE
AS SHOWN

DRN. BY
MANOJ

BLDG NO.1 DETAILS OF SEPTIC TANK & SOAK PIT



BLDG NO.2 DETAILS OF SEPTIC TANK & SOAK PIT



BLDG NO.2 SEPTIC TANK REQUIREMENT												
SR. NO.	DESCRIPTION	POPULATION PER UNIT	TOTAL POPULATION APPROX.	COLD WATER REQUIREMENT		GROSS WATER	% FLOW TO SEWER		TOTAL FLOW	TOTAL FLOW REQUIRED TO SEPTIC	TOTAL PROPOSED SEPTIC TANK CAPACITY	
				FLUSHING	DOMESTIC	A+B	FLUSHING	DOMESTIC				
				A	B	0	100%	85%				
				LPD	LPD	LPD	LPD	LPD	LPD			
1	FLATS(16)	5	80	45	3600	90	7650	11250	3600	6503	10103	10103
2	COMMERCIAL AREA=215M2	3M2/PERSON	215/3=72	45	3240	-----	-----	3240	3240	-----	3240	3240
											10103+3240=13343	ROUNDED=15000 LITERS

CONTENT OF THE SHEET

- 1) SERVICES PLAN
2) DETAIL OF COMPOUND WALL
3) DETAILS OF ENTRANCE GATE
4) DETAILS OF SEPTIC TANK & SOAK PIT & CALCULATION.
5) U/G WATER TANK & CALCULATION
6) LEGEND & DETAILS OF RECHARGE PIT

BLDG NO.1 SEPTIC TANK REQUIREMENT

SR. NO.	DESCRIPTION	POPULATION PER UNIT	TOTAL POPULATION APPROX.	COLD WATER REQUIREMENT		GROSS WATER	% FLOW TO SEWER		TOTAL FLOW	TOTAL PROPOSED SEPTIC TANK CAPACITY				
				FLUSHING	DOMESTIC	A+B	FLUSHING	DOMESTIC						
				A	B		100 %	85 %						
				LPD	LPD	LPD	LPD	LPD						
1	FLATS(31)	5	155	45	6975	90	13950	20925	6975	11858	LPD	0	18833	22100

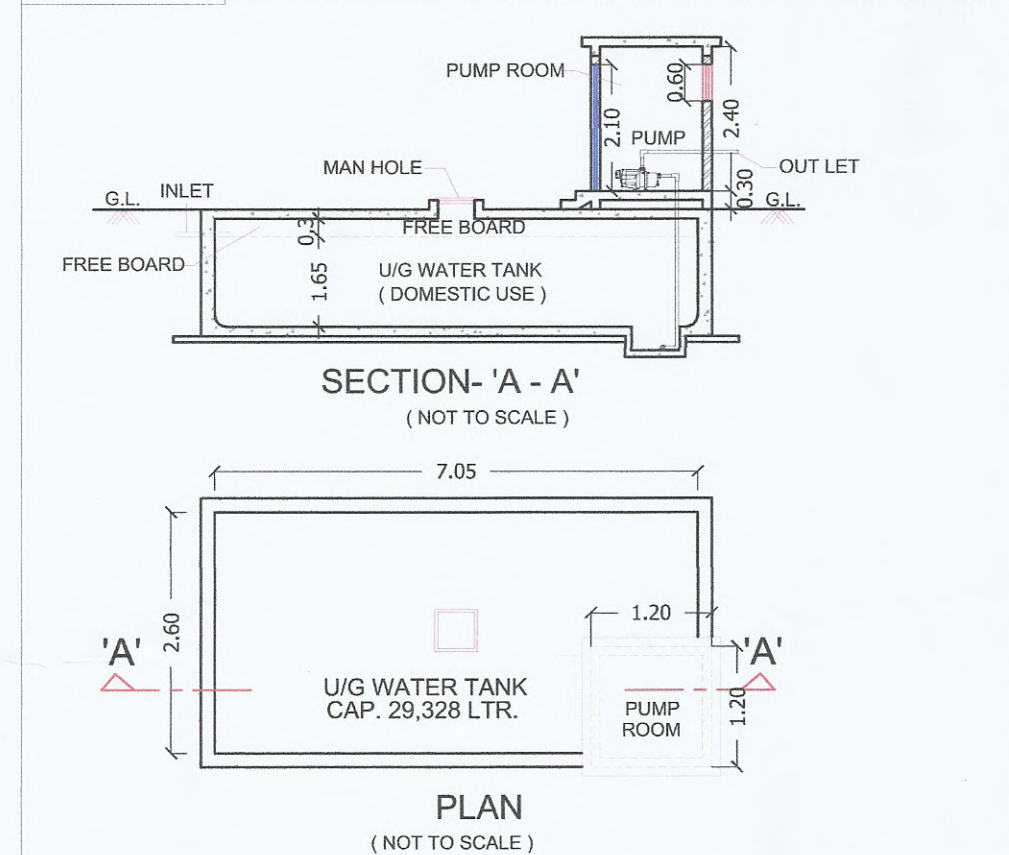
BLDG NO.1 WATER STORAGE CAPACITY CALCULATION

BUILDING	TOTAL NUMBER OF UNITS	ADDL. TOILET	POPULATION	WATER REQUIREMENT (IN LITER)			UNDER GROUND WATER TANK PROVIDED		
				ADDL. TOILET	CAPACITY PERHEAD	TOTAL	TANK NUMBER	SIZE / DIMENSION	CAPACI- TY
[1]	[2]	[3]	[4]	[5]	[6]	[7]	[8]	[9]	[10]
1	31	3	= [2] X [3]	= [5] X [6]	189 = [7] X [6]	1	7.05	X 2.60	X 1.65
			155	540	2925	29835		+ 0.30 FEED BOARD	
TOTAL	31	3	155	540	2925	29835	1	7.05	30.244

BLDG NO.1 OVER HEAD WATER TANK CAPACITY CALCULATION

BUILDING	WATER REQUIRED (LITER)	OVERHEAD WATER TANK PROVISION							
		TANK SIZE (METER)				NUMBER OF TANK	CAPACITY (LITER)		
		[1]	[2]	[3]				[4]	[5]
A	7561	5.40	X	1.20	X	1.20	1	7.776	
B	7561	5.40	X	1.20	X	1.20	1	7.776	
		TOTAL						=	15552

BLDG NO.1 DETAILS OF U/ G WATER TANK & PUMP ROOM

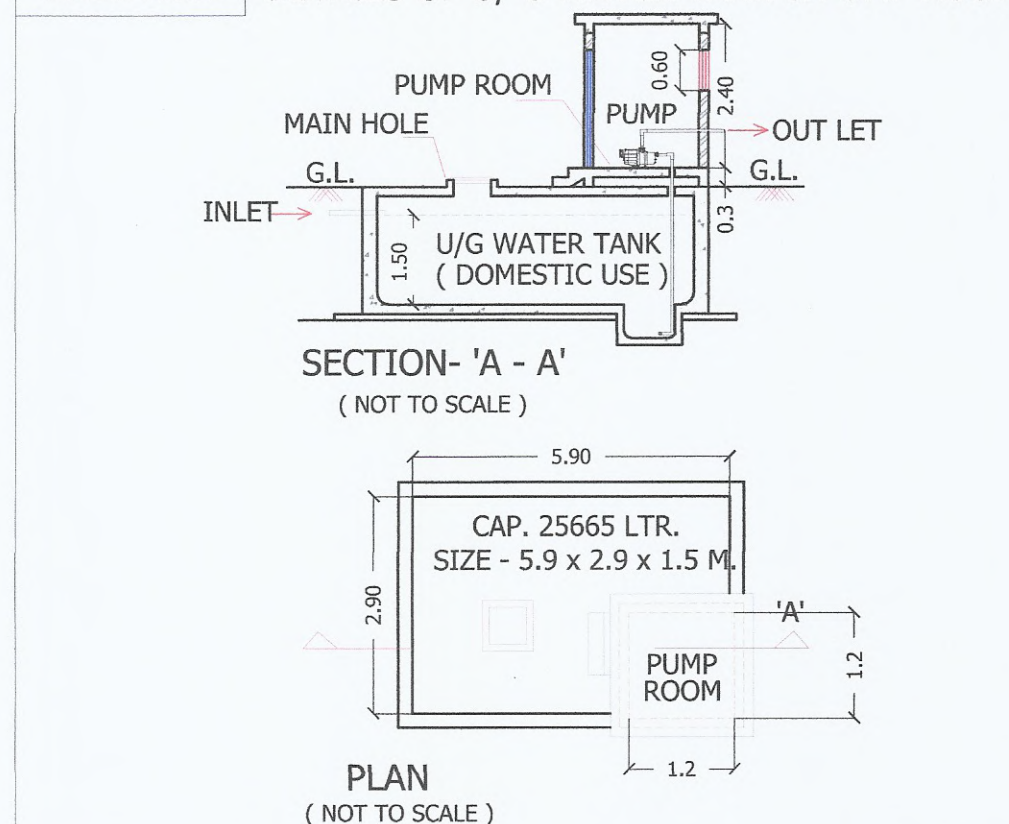


BLDG NO.2 WATER STORAGE CAPACITY CALCULATION										
BUILDING	TOTAL NUMBER OF UNITS	ADDL. TOILET	POPULATION	WATER REQUIREMENT (IN LITER)			UNDER GROUND WATER TANK PROVIDED			
				ADDL. TOILET	CAPACITY PERHEAD	TOTAL	TANK NUMBER	SIZE / DIMENSION		CAPACITY LITER
[1]	[2]	[3]	[4]	[5]	[6]	[7]	[8]	[9]	[10]	[11]
1	16	12	= [2] X [3] = 5	= [5] X 180 = 80	= [4] X 189 = 2160	= [7] + [6] = 15120	1	5.90 X 2.90 X 1.50	25.665	25.665
TOTAL			16	12	80	2160	15120	17280	25665	25665

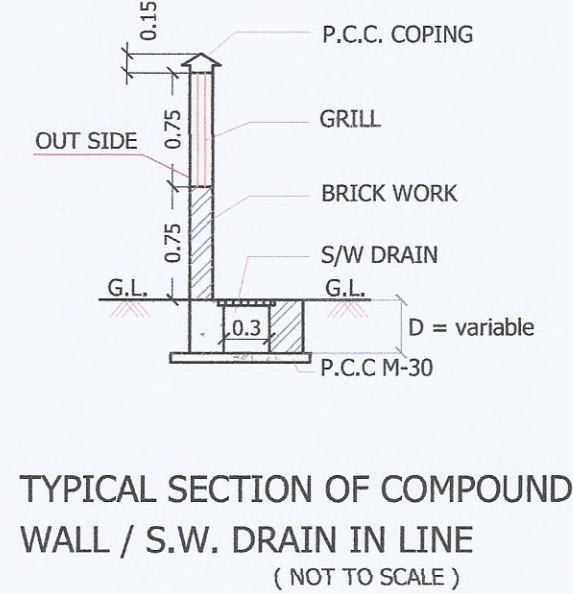
BLDG NO.2 OVERHEAD WATER TANK CAPACITY CALCULATION

BUILDING	WATER REQUIRED (LITER)	OVERHEAD WATER TANK PROVISION						
		TANK SIZE (METER)			NUMBER OF TANK	CAPACITY (LITER)		
[1]	[2]	[3]			[4]	[5]		
1	9113	4.40	X	2.50	X	1.20	1	13,200
TOTAL							=	13200

BLDG NO.2 DETAILS OF U/ G WATER TANK & PUMP ROOM

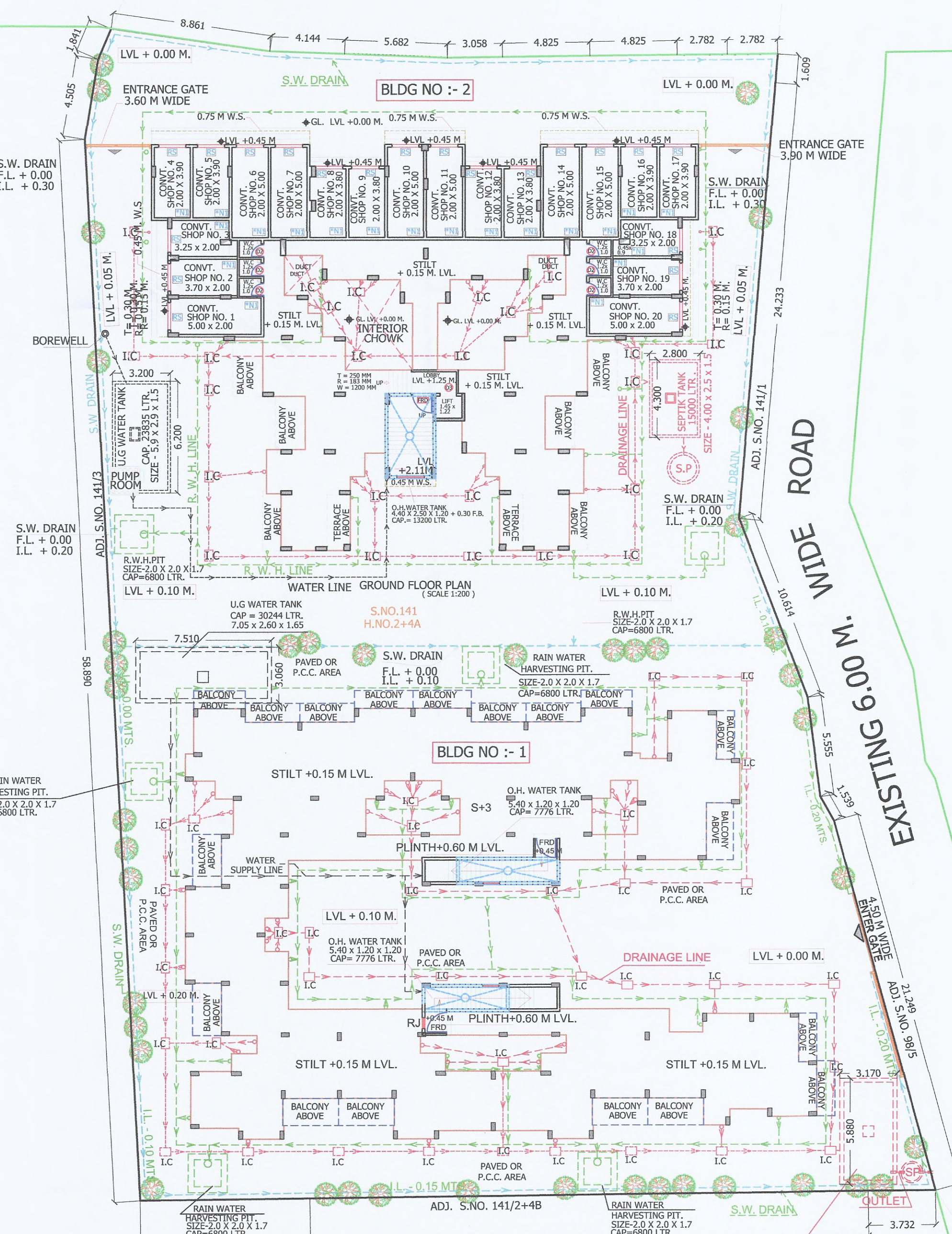


LEGEND			
SR.	ITEM	SITE PLAN ON WHITE PRINT	BUILDING PLAN ON WHITE PRINT
1.	PLOT LINE	---	---
2.	EXISTING STREET	---	---
3.	DRAINAGE & SEWERAGE	---	---
4.	WATER SUPPLY WORK	---	---
5.	R.W.H LINE	---	---
6.	S. W. DRAIN LINE	---	---
7.	BOREWELL	---	---
8.	WATER SUPPLY GROUND FLR	---	---
9.	WATER SUPPLY UPTO FIRST FLR	---	---

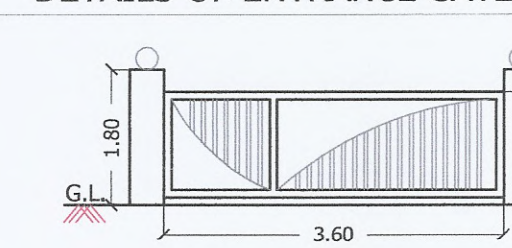


TO VILLAGE ROAD

EXISTING 9.00 M. WIDE ROAD



DETAILS OF ENTRANCE GATE

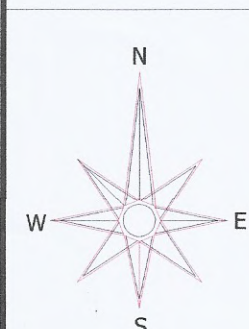


SERVICES PLAN

(SCALE 1: 200)

ELEVATION

(NOT TO SCALE)



STAMP OF APPROVAL

PART OC

This Part Occupancy Certificate is issued for full OC to the building no. 2 only, and as built drawing is approved subject to the conditions mentioned in Part Occupancy Certificate bearing no. C/OCCONAINA/Panel/Adai/BP-00543/OC/Part/2022/0211 Dated 03/June/2022.

SPECIFICATIONS

External wall D/W.	0.150 M.
Internal wall D/W.	0.100 M.

DOOR / WINDOW SCHEDULE

TYPE	SIZE IN MM.	AREA IN SQ.M.	SILL HEIGHT	DESCRIPTION
D1	1.200 X 2.100	2.520	0.900	T. W. PANELLED DOOR
D2	0.900 X 2.100	1.890	0.900	T. W. PANELLED DOOR
D3	0.750 X 1.800	1.350	0.900	T. W. FLUSH DOOR
D4	0.900 X 2.000	1.800	0.900	M. S. GRILL DOOR
FRD	1.200 X 2.100	2.520	0.000	FIRE RESISTING M.S. DOOR
SD	1.800 X 2.250	4.050	0.150	AL. SLIDING WINDOW/DOOR
W1	1.500 X 1.400	2.100	0.900	AL. SLIDING WINDOW
W2	1.800 X 1.400	2.520	1.000	AL. SLIDING WINDOW
W3	1.200 X 1.400	1.680	0.900	AL. SLIDING WINDOW
W4	0.900 X 1.200	1.080	0.900	AL. SLIDING WINDOW
R3	1.500 X 1.500	2.250	1.000	R.C.C. JALI
V	0.600 X 0.900	0.540	1.500	AL. LOUVERED VENTILATOR
RS	1.500 X 3.200	4.800	0.000	ROLLING SHUTTER DOOR

LIGHT & VENTILATION STATEMENT

(FOR MINIMUM FLAT WITH MINIMUM AREA)

LIVING	CARPET AREA IN SQ.M.	1/6 REQUIRED IN SQ.M.	TYPE OF WINDOW	AREA OF WINDOW PROPOSED IN SQ.M.
LIVING	12.825	2.137	SD	4.050
BED	18.450	3.075	SD + W2	6.570
BED	9.750	1.625	W2	2.520
KITCHEN	4.510	0.751	W1	2.250
W.C.	1.080	0.300	V	0.540
BATH	1.800	0.300	V	0.540

(FOR MAXIMUM FLAT WITH MINIMUM AREA)

LIVING	15.900	2.650	SD	4.050
BED	10.350	1.725	W2	2.520
BED	11.557	1.936	W2	2.520
KITCHEN	5.592	0.998	W3	1.890
TOILET-1	2.580	0.430	V	0.540
TOILET-2	2.712	0.452	V	0.540

NOTES

W.S. (Weather Shade)

"H" (ARTIFICIAL LIGHT & VENTILATION)

"HC" (FLUTING COLUMN)

CONTENT OF THE SHEET:

- 1) PLAN OF BUILDING-2 (GROUND, 1ST & 2ND FLOOR), ELEVATIONS & SECTIONS
- 2) BUILT UP AREA DIAGRAM & STATEMENT (GROUND, 1ST & 2ND FLOOR)
- 3) TERRACE AREA STATEMENT (1ST & 2ND FLOOR)
- 4) BALCONY AREA STATEMENT (1ST & 2ND FLOOR)
- 5) DOOR / WINDOW SCHEDULE, LIGHT & VENTILATION STATEMENT.
- 6) LIGHT & VENTILATION STATEMENT.

FORM OF CERTIFICATE.

I, Jeetendra Parmar, have been employed by the applicant as Licensed Engineer. I have examined the boundaries and the area of the plot and do hereby certify that, I have personally verified and checked all the statements made by the applicant who is the owner (Developer) in possession of the plot in the above form and found them to be correct.

Date: 20-10-2018

JEETENDRA PARMAR
CARP/R/2021/APL/00416
(SIGN. OF LICENSED ENGINEER)

CERTIFICATE OF AREA

CERTIFIED THAT THE PLOT UNDER REFERENCE WAS SURVEYED BY ME ON 20-10-2018 AND THE DIMENSIONS OF SITE ETC. OF PLOT STATED ON PLAN AREA IS AS MEASURED ON SITE AND THE AREA SO WORKED OUT TALLIES WITH THE AREA STATED IN DOCUMENT OF OWNERSHIP / T.P. SCHEME RECORDS / LAND RECORDS DEPARTMENT / CITY SURVEY RECORD.

FOR M/S. Swastik Builders & Developer

1) MR. SUNIL PARSHURAM JADHAV

2) MR. ASHOK RAGHO PANNIKAR

FOR M/S. KAIZEN INDIA REALTY

1) MR. BABASAHEB KISAN SANAP

2) MR. YASHWANT VITTHALRAO TIDKE

(SIGNATURE OF PLOT HOLDERS)

JEETENDRA PARMAR
CARP/R/2021/APL/00416
(SIGN. OF ARCHITECT/ENGINEER)

POWER OF ATTORNEY HOLDERS:

FOR M/S. Swastik Builders & Developer

1) MR. SUNIL PARSHURAM JADHAV

2) MR. ASHOK RAGHO PANNIKAR

FOR M/S. KAIZEN INDIA REALTY

1) MR. BABASAHEB KISAN SANAP

2) MR. YASHWANT VITTHALRAO TIDKE

NAME & SIGNATURE OF THE OWNERS:

MR. GANU MAHADEV PATIL

MR. ANANTA MAHADEV PATIL

DESCRIPTION OF PROPOSAL & PROPERTY

PROPOSED RESIDENTIAL BUILDING ON LAND BEARING

S. NO. 1412/4A, AT VILLAGE - ADAL TAL - PANVEL, DIST - RAIGAD.

ARCHITECT / ENGINEER NAME & SIGN

JEETENDRA PARMAR
CARP/R/2021/APL/00416

JOB. NO. JPA/01/2019

FILE NAME ADASUB

DRG. NO. 5/5

SCALE AS SHOWN

DRAWN BY MANOJ

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

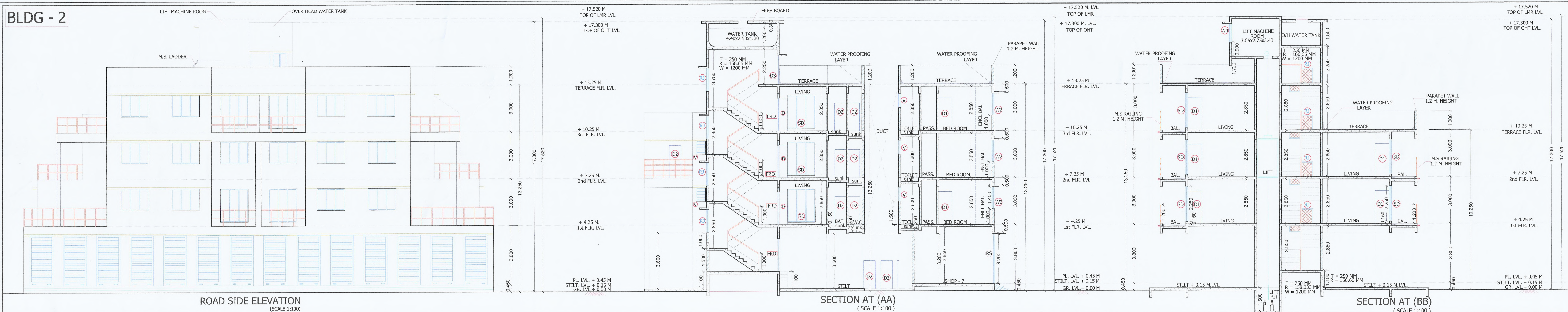
A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

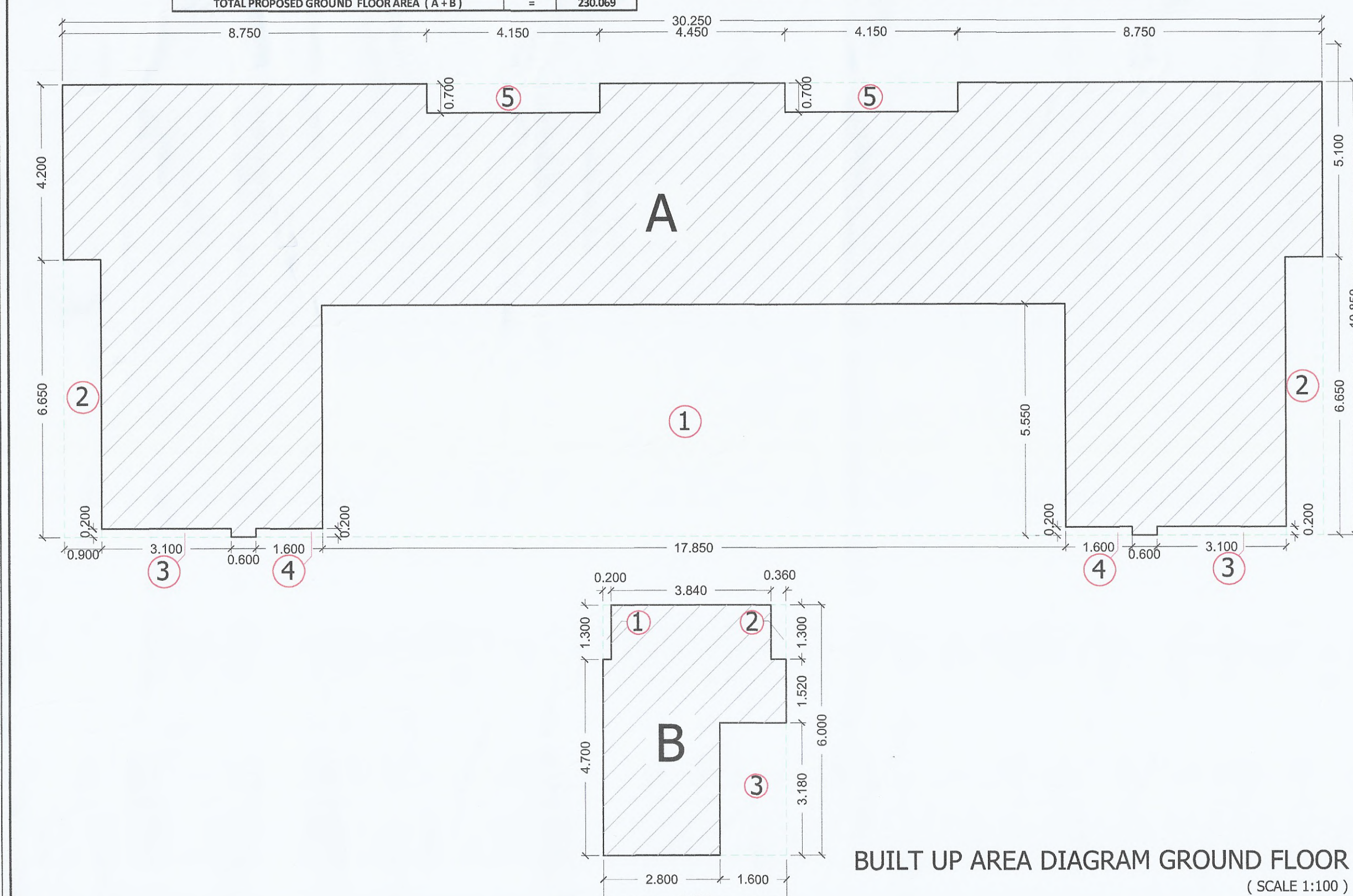
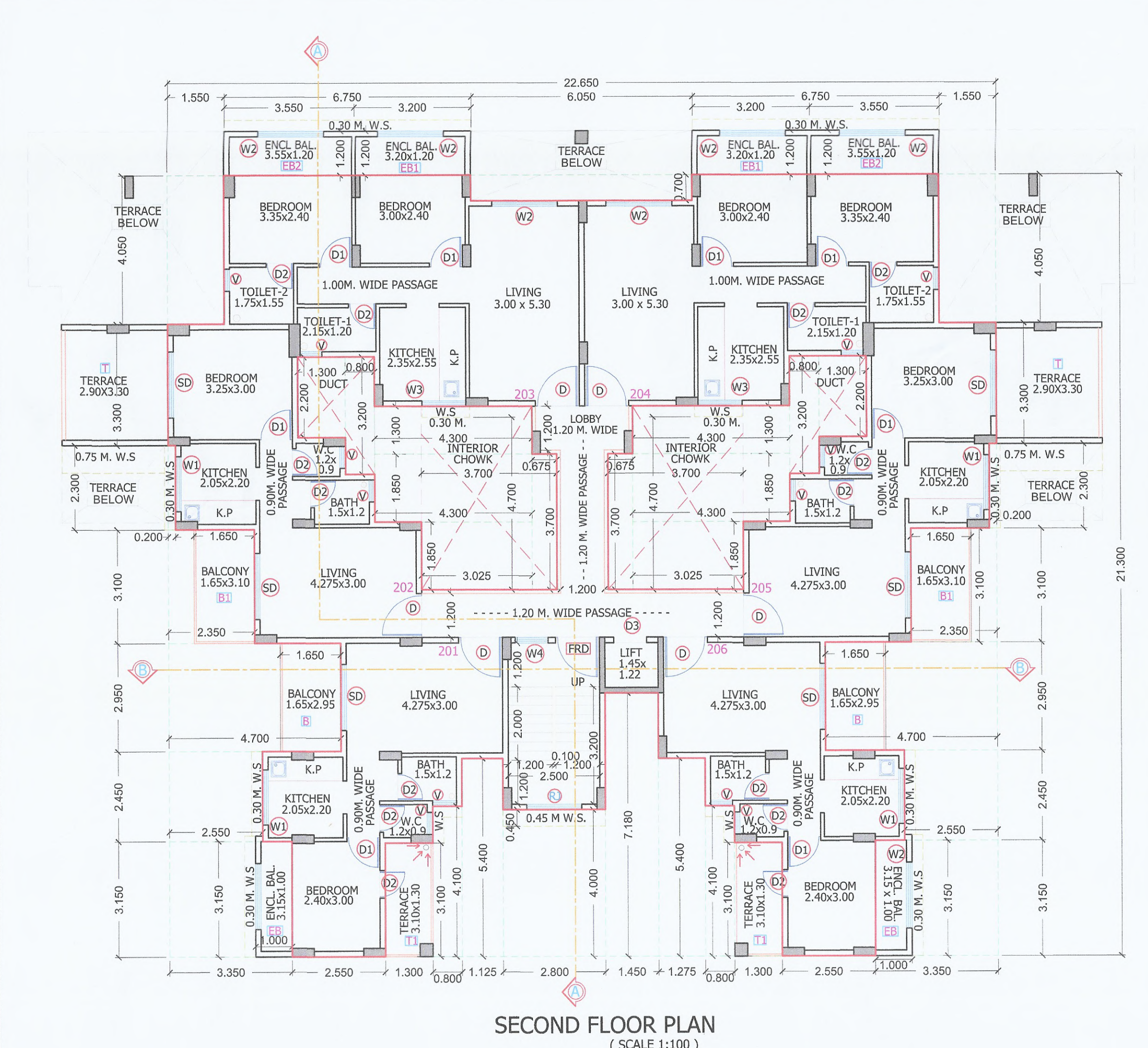
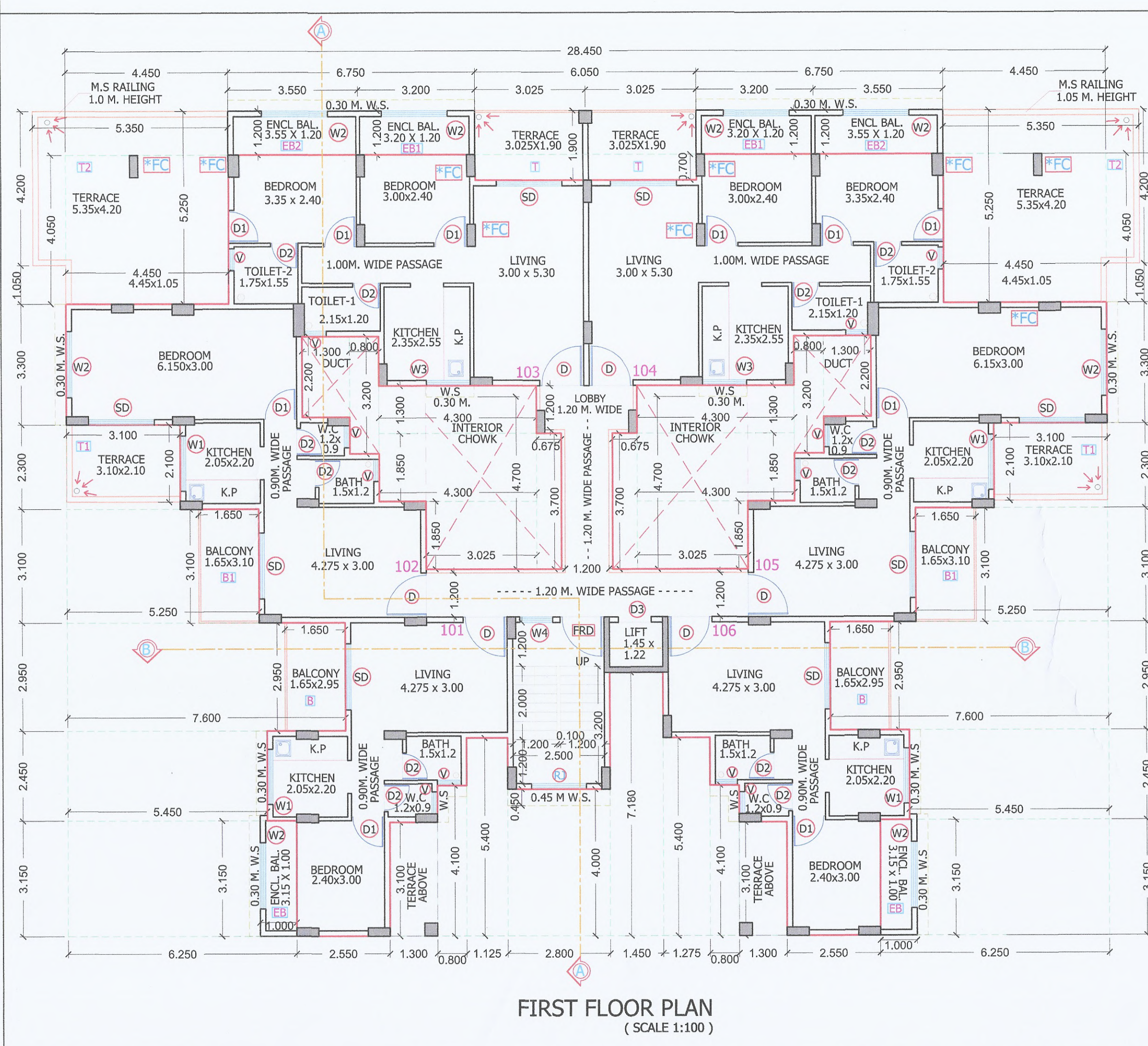
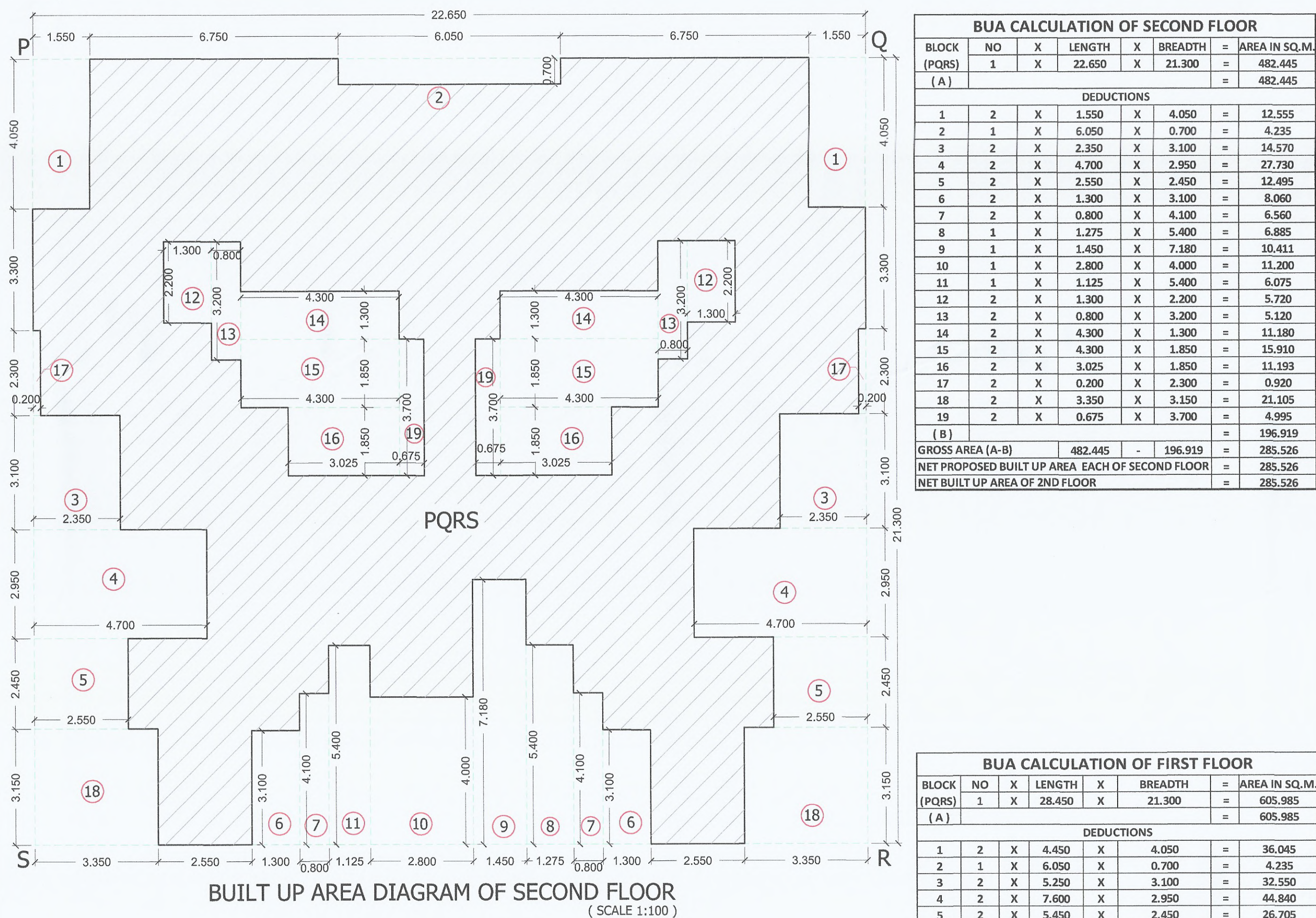
A-101, "KANDILE RESIDENCY", NEAR M.S.E.B. & FOREST OFFICE, TAKKA, PANVEL-410206, TEL: 022-27482894, jeetendra_parmar2008@yahoo.com

ROAD SIDE ELEVATION
(SCALE 1:100)SECTION AT (AA)
(SCALE 1:100)SECTION AT (BB)
(SCALE 1:100)

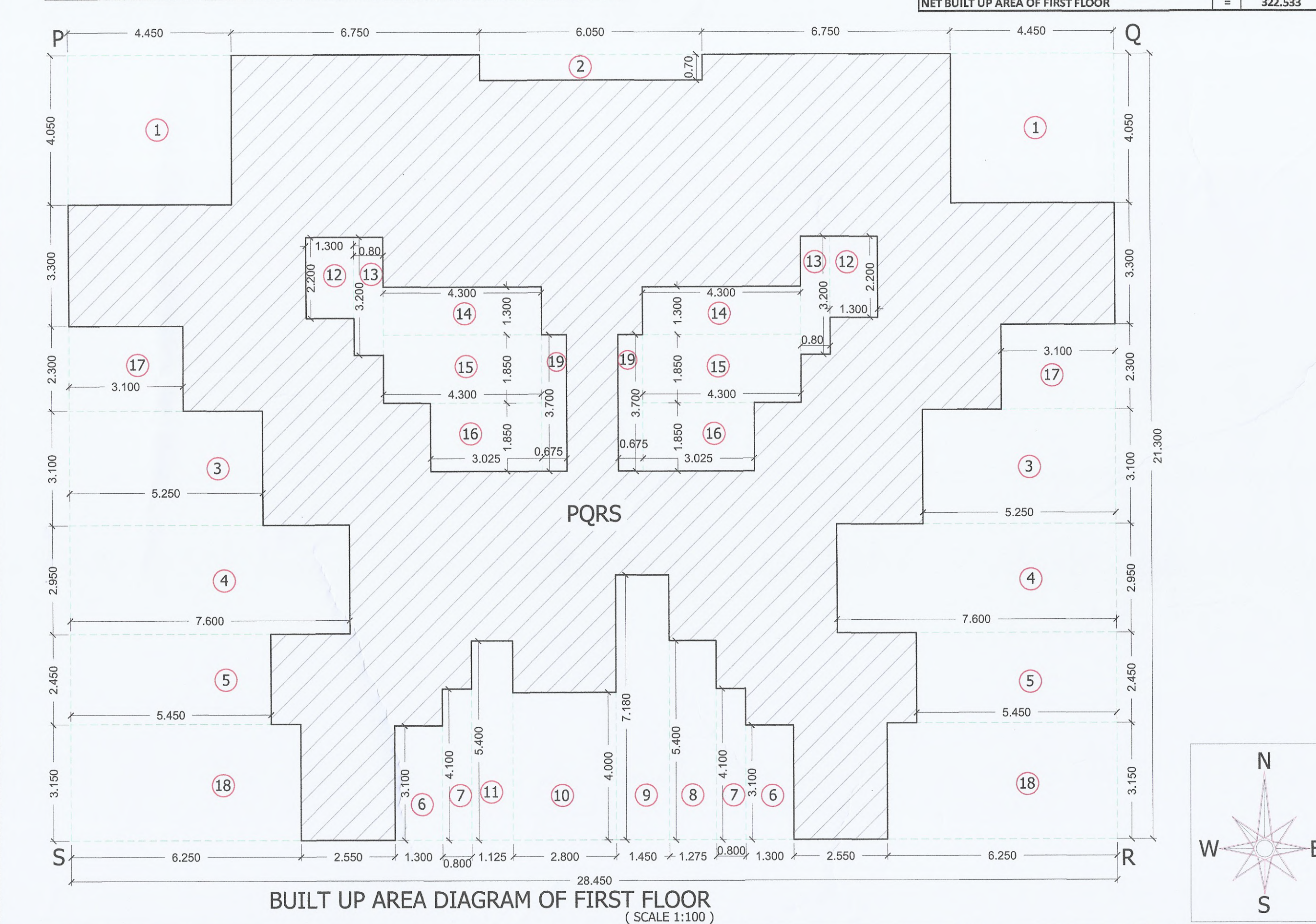
BUA CALCULATION OF GROUND FLOOR						
(A)		SHOP BUILT UP AREA				
S.NO.	LENGTH	X	BREADTH	X	NO.	= AREA IN SQ.M.
I	30.250	X	15.850	X	1	= 479.213
DEDUCTIONS						
II	17.850	X	5.550	X	1	= 99.088
	2.000	X	4.650	X	2	= 11.700
	3.100	X	0.200	X	2	= 1.240
	4.100	X	0.350	X	2	= 1.260
	5.150	X	0.700	X	2	= 5.810
TOTAL						= 118.728
PROPOSED SHOP BUA						= 329.213 - 118.728 = 209.485
(B)		STAIRCASE & LIFT BUILT UP AREA				
I	4.400	X	6.000	X	1	= 26.400
DEDUCTIONS						
II	0.300	X	1.300	X	1	= 0.390
	2.950	X	1.900	X	1	= 0.488
	3.100	X	3.180	X	1	= 5.088
TOTAL						= 5.856
PROPOSED STAIRCASE & LIFT BUA						= 26.400 - 5.856 = 20.544

PROPOSED TERRACE AREA OF 1ST FLOOR								
TYPE	NO. S.	X	LENGTH	X	BREADTH	=	AREA IN SQ.M	
T	2	X	3.025	X	1.900	=	11.495	
T1	2	X	3.100	X	2.100	=	13.020	
T2	2	X	5.350	X	4.200	=	44.94	
	2	X	4.450	X	1.050	=	9.345	
PROPOSED TERRACE AREA OF 1ST FLOOR							=	78.800
PERMISSIBLE TERRACE AREA OF 1ST FLOOR (304.666 X 20%)							=	60.933

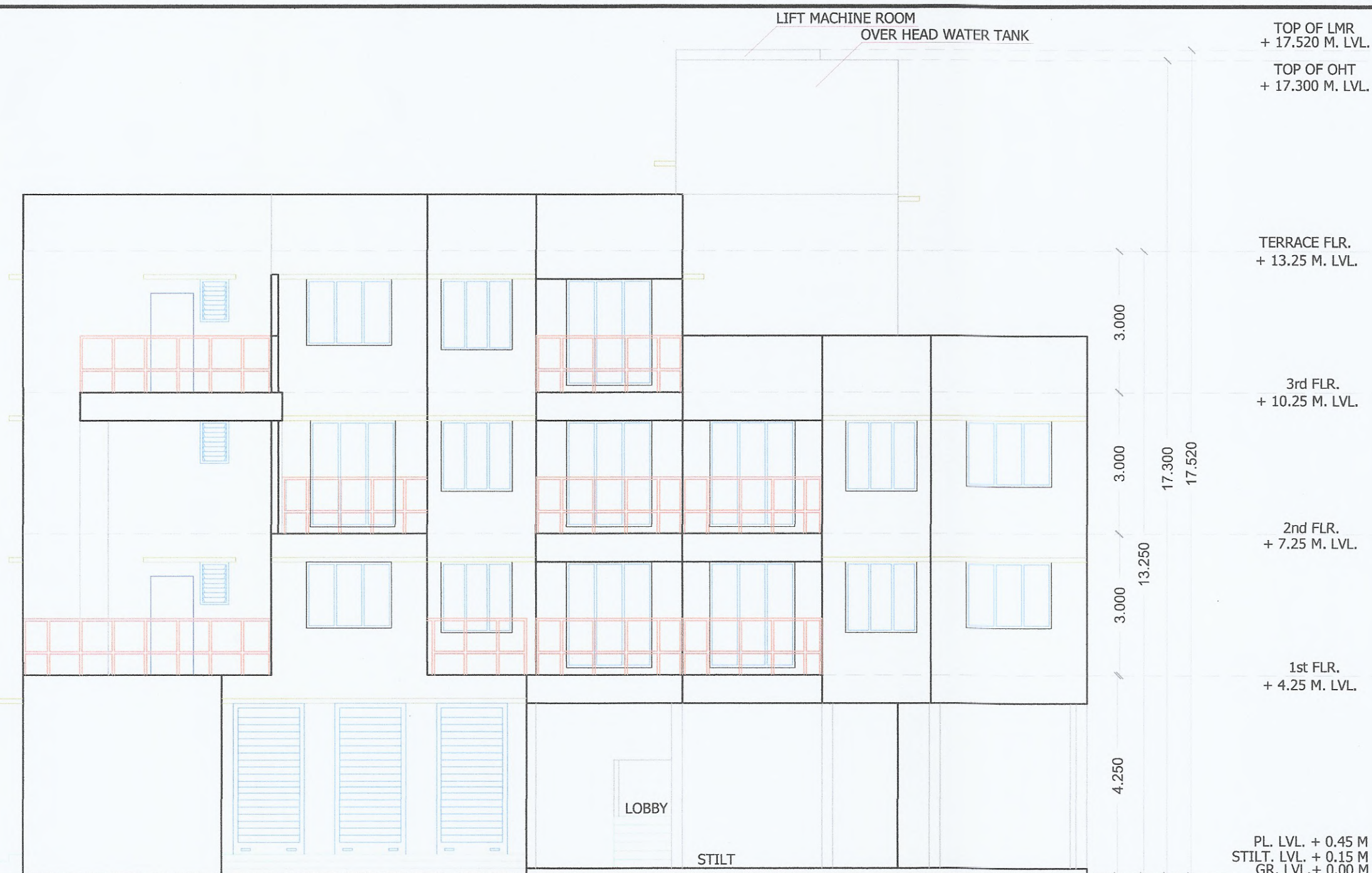
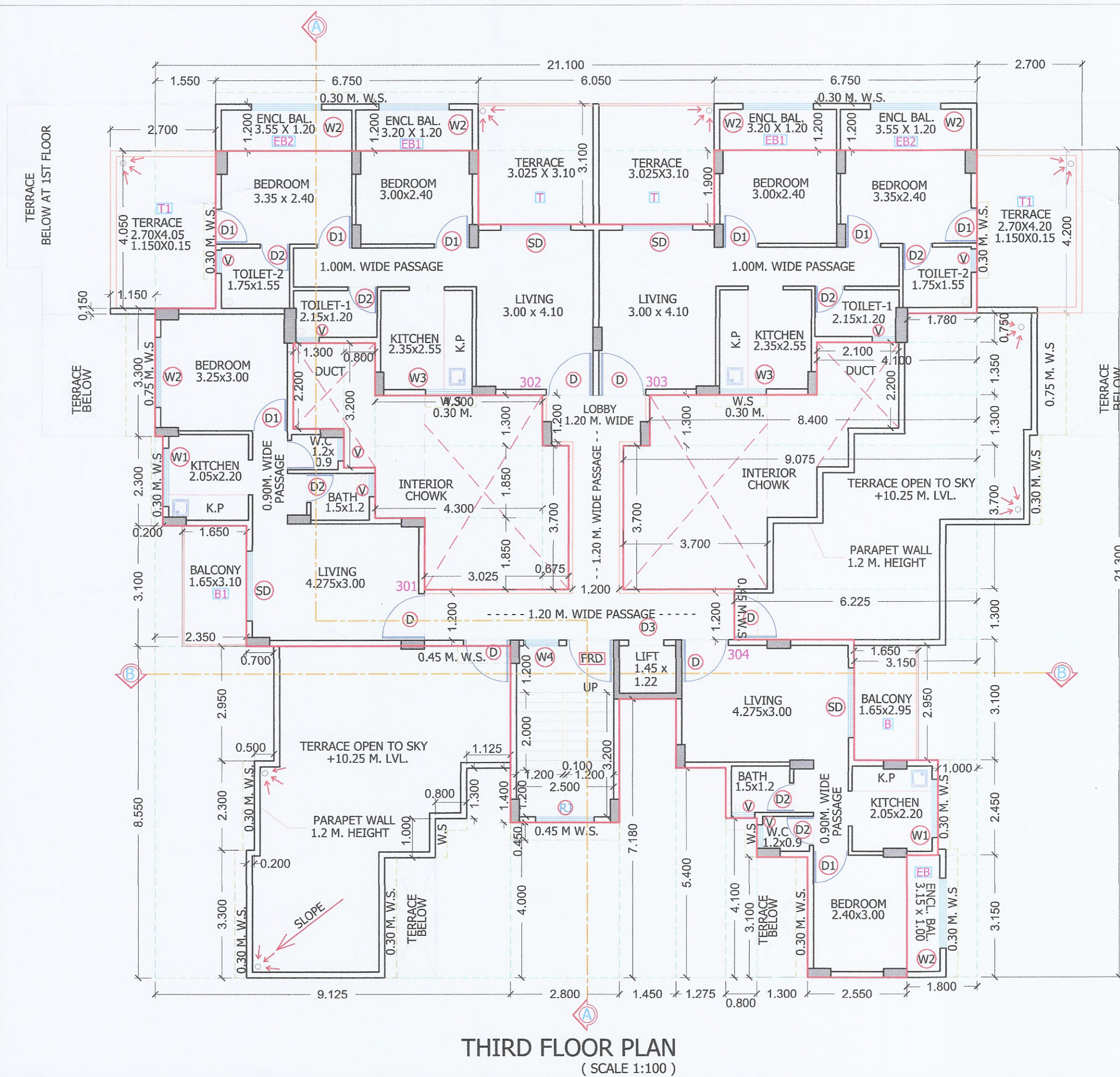
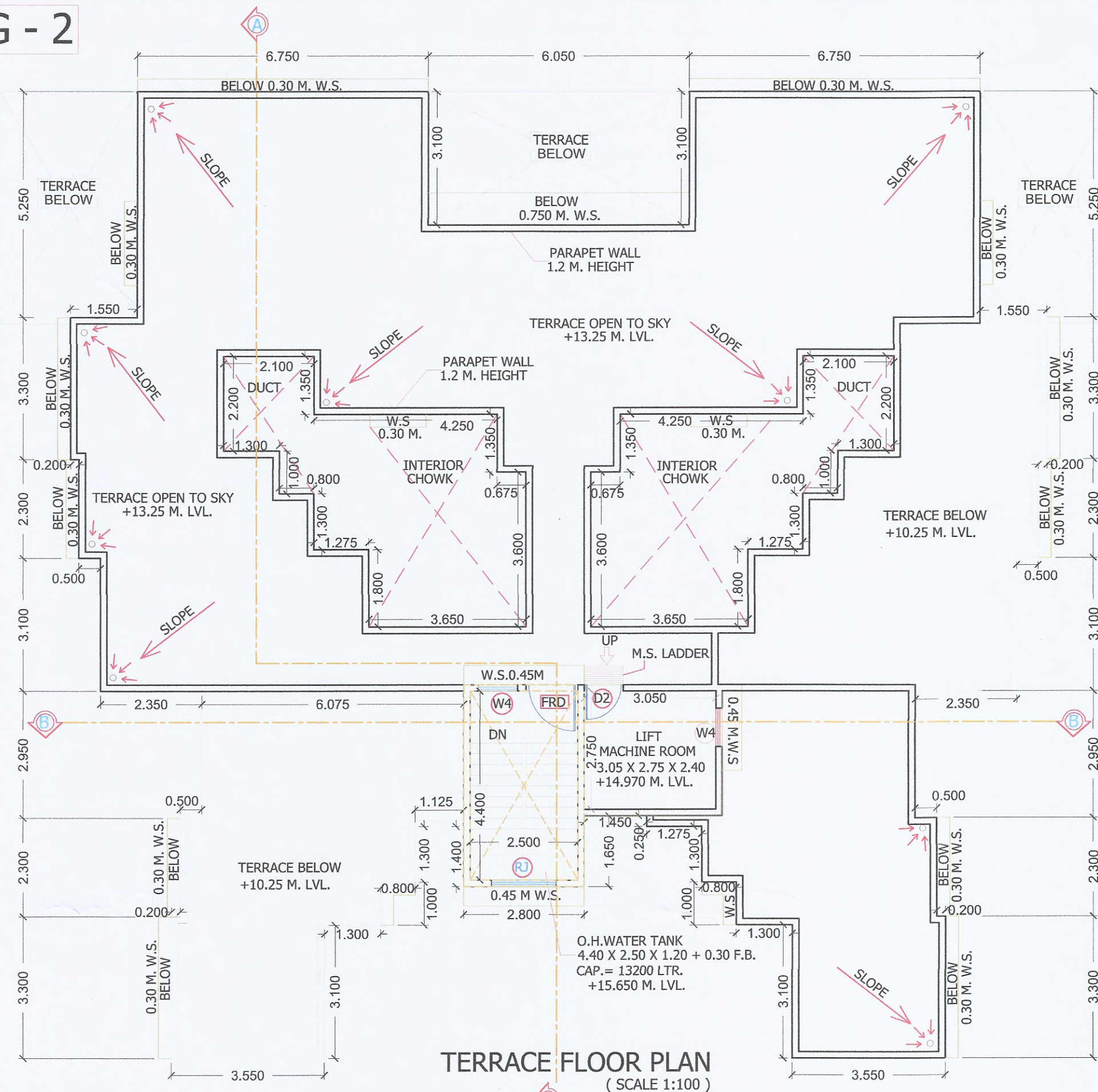
PROPOSED TERRACE AREA OF 2ND FLOOR								
TYPE	NO. S.	X	LENGTH	X	BREADTH	=	AREA IN SQ.M.	
T	2	X	2.900	X	3.300	=	19.140	
T1	2	X	3.100	X	1.300	=	8.060	
PERMISSIBLE TERRACE AREA OF 2ND FLOOR (285.526X20%)							=	57.105
TOTAL PROPOSED TERRACE AREA OF 2ND FLOOR							=	27.200

GROUND FLOOR PLAN
(SCALE 1:100)SECOND FLOOR PLAN
(SCALE 1:100)FIRST FLOOR PLAN
(SCALE 1:100)BUILT UP AREA DIAGRAM OF SECOND FLOOR
(SCALE 1:100)

PROPOSED BALCONY AREA OF FIRST & SECOND FLOOR							
TYPE	NO.	S.	X	LENGTH	X	BREADTH	= AREA IN SQ.M.
ENCLOSED BALCONY							
EB	2	X	3.150	X	1.000	=	6.300
	2	X	0.200	X	0.150	=	0.060
EB1	2	X	3.200	X	1.200	=	7.680
EB2	2	X	3.550	X	1.200	=	8.520
TOTAL ENCLOSED BALCONY AREA							= 22.560
OPEN BALCONY							
B	2	X	1.650	X	2.950	=	9.735
B1	2	X	1.650	X	3.100	=	10.230
TOTAL OPEN BALCONY AREA							= 19.965
PERMISSIBLE BALCONY AREA EACH ON 1ST FLOOR (304.666 X 15%)							
							= 45.700
PERMISSIBLE BALCONY AREA EACH ON 2ND FLOOR (285.526 X 15%)							
							= 42.829
PROPOSED BALCONY AREA EACH ON 1ST & 2ND FLOOR (ENCLOSED + OPEN)							= 42.525

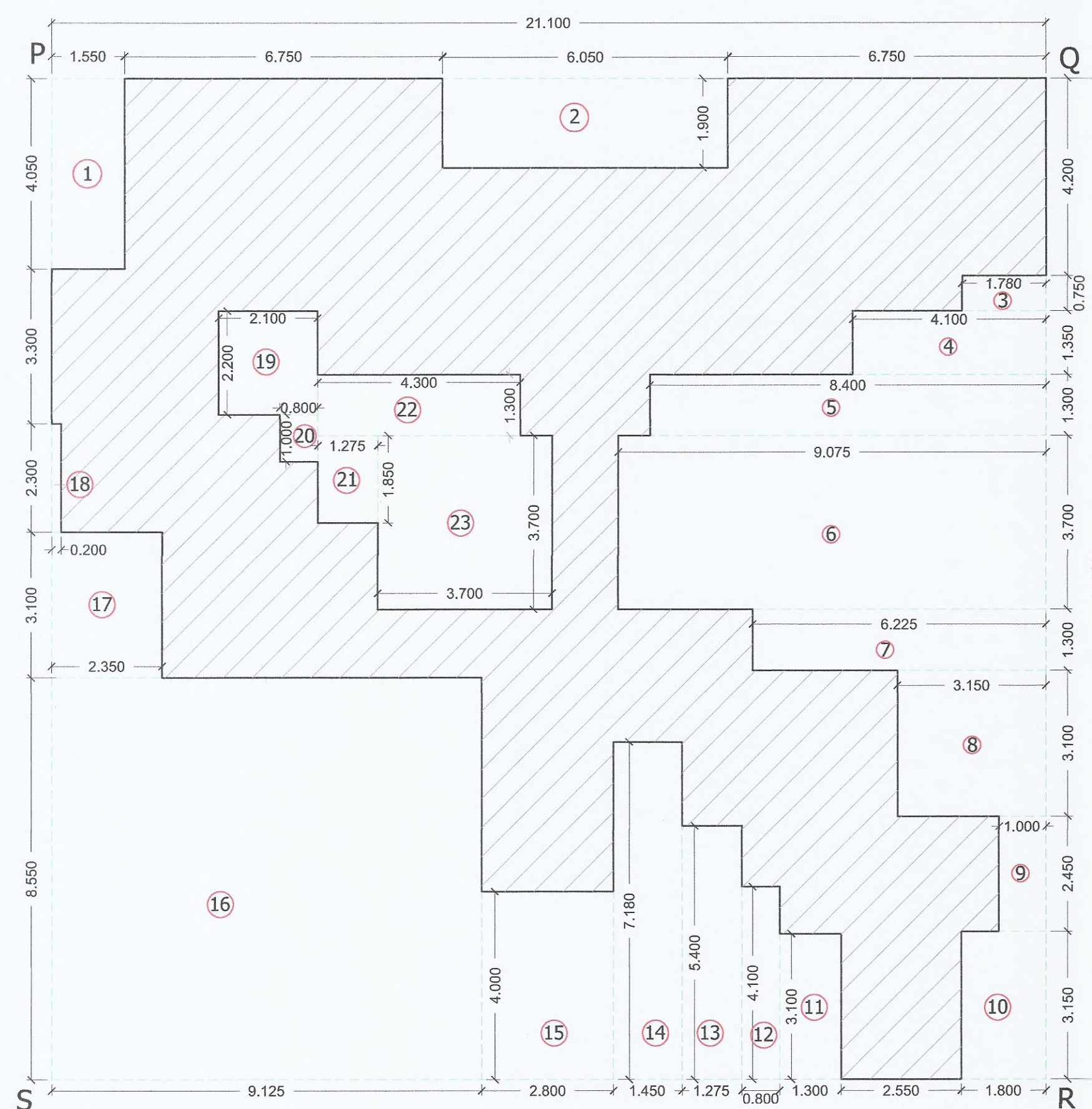
BUILT UP AREA DIAGRAM OF FIRST FLOOR
(SCALE 1:100)

BLDG - 2

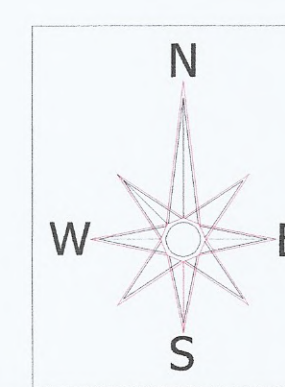


PROPOSED BALCONY AREA OF THIRD FLOOR						
TYPE	NOS.	X	LENGTH	X	BREADTH	= AREA IN SQ.M.
ENCLOSED BALCONY						
EB	1	X	3.150	X	1.000	= 3.150
			0.200	X	0.150	= 0.030
EB1	2	X	3.200	X	1.200	= 7.680
EB2	2	X	3.550	X	1.200	= 8.520
TOTAL ENCLOSED BALCONY AREA						= 19.380
OPEN BALCONY						
B	1	X	1.650	X	2.950	= 4.868
B1	1	X	1.650	X	3.100	= 5.115
TOTAL OPEN BALCONY AREA						= 9.983
PERMISSIBLE BALCONY AREA OF 3RD FLOOR (205.684X15%)						= 30.853
PROPOSED BALCONY AREA (ENCLOSED + OPEN)						= 29.363

PROPOSED TERRACE AREA OF 3RD FLOOR						
TYPE	NO. S.	X	LENGTH	X	BREADTH	= AREA IN SQ.M.
T	2	X	3.025	X	3.100	= 18.755
T1	2	X	2.700	X	4.050	= 21.870
			0.150	X	1.150	= 0.345
TOTAL PROPOSED TERRACE AREA OF 3RD FLOOR						= 40.970
PERMISSIBLE TERRACE AREA OF 3RD FLOOR (205.684X20%)						= 41.137



BUA CALCULATION OF 3RD FLOOR						
BLOCK	NO	X	LENGTH	X	BREADTH	AREA IN SQ.M.
(PQRS)	1	X	21.100	X	21.300	= 449.430
(A)						= 449.430
DEDUCTIONS						
1	1	X	1.550	X	4.050	= 6.278
2	1	X	6.050	X	1.900	= 11.495
3	1	X	1.780	X	0.750	= 1.335
4	1	X	4.100	X	1.350	= 5.535
5	1	X	8.400	X	1.300	= 10.920
6	1	X	9.075	X	3.700	= 33.578
7	1	X	6.225	X	1.300	= 8.093
8	1	X	3.150	X	3.100	= 9.765
9	1	X	1.000	X	2.450	= 2.450
10	1	X	1.800	X	3.150	= 5.670
11	1	X	1.300	X	3.100	= 4.030
12	1	X	0.800	X	4.100	= 3.280
13	1	X	1.275	X	5.400	= 6.885
14	1	X	1.450	X	7.180	= 10.411
15	1	X	2.800	X	4.000	= 11.200
16	1	X	9.125	X	8.550	= 78.019
17	1	X	2.350	X	3.100	= 7.285
18	1	X	0.200	X	2.300	= 0.460
19	1	X	2.100	X	2.200	= 4.620
20	1	X	0.800	X	1.000	= 0.800
21	1	X	1.275	X	1.850	= 2.359
22	1	X	4.300	X	1.300	= 5.590
23	1	X	3.700	X	3.700	= 13.690
(B) TOTAL						= 243.746
GROSS AREA (A-B)						= 449.430 - 243.746 = 205.684
NET BUILT UP AREA OF 3RD FLOOR						= 205.684



SHEET NO. -

6/6

STAMP OF APPROVAL

PART OC

This Part Occupancy Certificate is issued for full OC to the building no. 2 only, and as built drawing is approved subject to the conditions mentioned in Part Occupancy Certificate bearing no.
CIDCO/NAINA/Panvel/Adai/BP-00543/OC/Part/2022/0211
Dated 03/June/2022.

CONTENT OF THE SHEET:

- 1) PLAN OF BUILDING (THIRD & TERRACE FLOOR),
- 2) BUILT UP AREA DIAGRAM & STATEMENT (3RD FLOOR)
- 3) TERRACE AREA STATEMENT (3RD FLOOR)
- 4) BALCONY AREA STATEMENT (3RD FLOOR)

FORM OF CERTIFICATE .

I Jeetendra Parmar have been employed by the applicant as Licensed engineer. I have examined the boundaries and the area of the plot and I do hereby certify that, I have personally verified and checked all the statements made by the applicant who is the owner/Developer in possession of the plot in the above form and found them to be correct.
Date :- 20-10-2018

JEETENDRA PARMAR
CARPC/R/2021/APL/00416
(SIGN. OF LICENSED ENGINEER)

CERTIFICATE OF AREA

CERTIFIED THAT THE PLOT UNDER REFERENCE WAS SURVEYED BY ME ON 20-10-2018 AND THE DIMENSIONS OF SIDE ETC. OF PLOT STATED ON PLAN AREA IS AS MEASURED ON SITE AND THE AREA SO WORKED OUT TALLIES WITH THE AREA STATED IN DOCUMENT OF OWNERSHIP / T.P SCHEME RECORDS / LAND RECORDS DEPARTMENT / CITY SURVEY RECORD.

FOR M/S. Swastik Builders & Developer **For SWASTIK BUILDERS AND DEVELOPERS**

1) MR. SUNIL PARSHURAM JADHAV.

2) MR. ASHOK RAGHO PAWNEKAR.

FOR M/S. KAIZEN INDIA REALTY **For KAIZEN INDIA REALTY**

1) MR. BABASAHEB KISAN SANAP

2) MR. YASHWANT VITTHALRAO TIDKE
(SIGNATURE OF POA HOLDERS) **JEETENDRA PARMAR**
(SIGN. OF ARCHITECT/ENGINEER)

POWER OF ATTORNEY HOLDERS:

FOR M/S. Swastik Builders & Developer **For SWASTIK BUILDERS AND DEVELOPERS**

1) MR. SUNIL PARSHURAM JADHAV.

2) MR. ASHOK RAGHO PAWNEKAR.

FOR M/S. KAIZEN INDIA REALTY

1) MR. BABASAHEB KISAN SANAP

2) MR. YASHWANT VITTHALRAO TIDKE

NAME & SIGNATURE OF THE OWNERS :

MR. GANU MAHADU PATIL

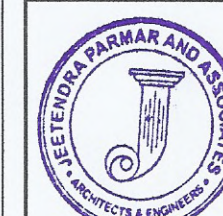
MR. ANANTA MAHADU PATIL

DESCRIPTION OF PROPOSAL & PROPERTY

PROPOSED RESIDENTIAL BUILDING ON LAND BEARING S. NO. 141/2+4A,
AT VILLAGE - ADAI, TAL.-PANVEL, DIST.-RAIGAD.

ARCHITECT / ENGINEER NAME & SIGN

JEETENDRA PARMAR
CARPC/R/2021/APL/00416



JEETENDRA PARMAR AND ASSOCIATES

ARCHITECTURE ENGINEERING

A-101, "KANDPILE RESIDENCY",
NEAR M.S.E.B. & FOREST OFFICE,
TAKKA, PANVEL- 410206
TELEPHONE. NO. 022-27482594.
jeetendra_parmar2000@yahoo.com

JOB NO.
JPA/R/01/2019

FILE NAME
ADAI/SUB

DRG. NO.
6/6

SCALE
AS SHOWN

DRN. BY
MANOJ